



**TOWN OF HARRISBURG, NORTH CAROLINA
HARRISBURG TOWN HALL
BOARD OF ADJUSTMENT MEETING**

**June 2, 2026
6:00 PM**

AGENDA

1. CALL TO ORDER

- A. SPECIAL PRESENTATIONS
- B. PUBLIC ACCESS TO LIVE MEETING VIA YOUTUBE

Harrisburg Town Hall's Council Chambers will be open for the public to attend the meeting in person. The public has the option to watch the meeting virtually via the YouTube platform using the link below or attend in person.

<https://www.youtube.com/@HarrisburgNC/streams>

All persons wishing to present testimony to the Board must be present in person. All speakers must be sworn in to testify. Testimony must be competent, relevant, and based on facts rather than opinion.

2. CONSENT AGENDA

- A. Consider adoptions of the Draft Minutes from the May 5, 2026 Meeting

3. PUBLIC HEARINGS

- A. H2021.03 -SUP Preserve at Litchfield

4. OLD BUSINESS

5. NEW BUSINESS

6. ADJOURNMENT

Vision Statement

Harrisburg will be a distinctive, family-focused community where memories are made.

Mission Statement

Together, we enhance our quality of life by collaborating, planning, and investing to create our community of choice.



TOWN OF HARRISBURG

Agenda Item Details

Title:

Consider adoptions of the Draft Minutes from the May 5, 2026 Meeting

Presenting Personnel:

Carly Bedgood, Planning Support Specialist

Suggested Motion or Action:

Approve as presented.

Description/Background:

Attached are the minutes from the May 5, 2026, Board of Adjustment meeting.

Recommendation:

Approve as presented.

Fiscal Impact:

Attachments:

1. Minutes - May 5, 2026

**TOWN OF HARRISBURG, NORTH CAROLINA
BOARD OF ADJUSTMENT MEETING
MAY 5, 2026
6:00 PM**

MINUTES

PRESENT: Ian Patrick (Chair), Michael Branham (Vice Chair), Brandon Ross, Kayla Stafford (ALT 1), Sonya Rorie (ALT 2)

ABSENT: Monica Long, Eeswar Chamarthi (ETJ)

STAFF: Monterai Adams, Planning Director, Shelley Dehart, Assistant Planning Director, Carly Bedgood, Planning Technician, Tom Lesser, Code Enforcement Officer, Matthew Gallman, Senior Planner, Parviz Moosavi, Planner, Rich Koch, Town Attorney

1. CALL TO ORDER

Chairperson Patrick called the meeting to order.

A. SPECIAL PRESENTATIONS – NONE.

2. CONSENT AGENDA

Board member Rorie made a motion to approve the July 1, 2025, meeting minutes. Board member Branham seconded the motion.

The motion passed 5-0.

3. PUBLIC HEARINGS

A. H-2024-01-A 5465 Morehead Road Appeal of Administrative Decision

Chairperson Patrick announced to the board that the applicant and their attorney would like to address the board prior to the opening of the scheduled public hearing.

Joseph Ledford, 3015 McDowell Street, Charlotte

Attorney Ledford for the applicant spoke to let the board know his client would like to withdraw their application from tonight’s public hearing.

4. OLD BUSINESS - NONE

5. NEW BUSINESS - NONE

6. ADJOURNMENT

There being no further business, Board member Branham made a motion to adjourn with a second from Board member Ross. **The motion passed (5-0).**

**May 5th, 2026
BOA Minutes**

Adopted on the 2nd of June 2026

Ian Patrick, Chairperson

Carly Bedgood, Secretary



TOWN OF HARRISBURG

Agenda Item Details

Title:

H2021.03 -SUP Preserve at Litchfield

Presenting Personnel:

Shelley DeHart, Assistant Planning Director

Suggested Motion or Action:

Conduct the Public Hearing and **if** the Board finds the proposed development meets the applicable criteria for granting the requested special use permit, staff recommends that the approval be made subject to the conditions provided in the staff report.

Description/Background:

Lennar Carolinas, LLC is requesting approval of a Special Use Permit to authorize the development of a 134-Townhome Community on a 33.25 acre parcel zoned Office-Institutional (O-I). The application was filed in January 2021 under the previous Unified Development Ordinance that allows townhomes within this district by Conditional Use Permit (CUP). The NCGS was amended in 2019 (effective on July 1, 2021) that included a mandate to change the name of a quasi-judicial Conditional Use Permit (CUP) to a Special Use Permit (SUP) to avoid confusion with Conditional Zoning Districts. Based on this law, any decision on this petition will issue or deny a Special Use Permit.

Recommendation:

Conduct a public hearing, receive public testimony, and render a decision.

Fiscal Impact:

Attachments:

1. H-2021-03-SUP_Preserve at Litchfield
2. Attachment A_Application and UDO Documents
3. Attachment B_Preserve at Litchfield (Lennar)
4. Attachment C_The Preserve at Litchfield TIA_Report 1
5. Attachment D_Multiple - Stafford Rd. ROW Dedication MOU 04242026



Special Use Permit H-2021-03 SUP
Town of Harrisburg SUP Request
May 21, 2026

Applicant: Lennar Carolina, LLC
11605 N Community House Rd
Charlotte, NC 28277

Property Owner: Lennar Carolinas, LLC

Property Location: 9105 Stafford Rd, Charlotte, NC, 28215
PIN # 5517-69-2881-0000

Current Zoning: O-I (Office Institutional)

Property Size: 33.25 acres +/-

Staff Report By: Shelley DeHart, Assistant Planning Director

Request: **The applicant has requested a Special Use Permit to develop the site for a 134-Townhome Community under the previous Zoning Ordinance based on Application Date of January 12, 2021.**

BACKGROUND: The subject petition was filed for processing in early January 2021, prior to the current UDO adoption in August of 2021 (Attachment A); therefore, the applicant is entitled to processing under the adopted UDO at the time of filing the application. At that time, a townhome community was an allowed use by Conditional Use Permit (CUP) within the Office-Institutional (O-I) zoning classification. The NCGS were amended in 2019 (effective on July 1, 2021) that included a mandate to change the name of a quasi-judicial Conditional Use Permit (CUP) to a Special Use Permit (SUP) to avoid confusion with Conditional Zoning Districts. Based on this law, any decision on this petition will issue or deny a Special Use Permit.

As required by the UDO:

1. The applicant has submitted a complete application (along with required fees) which includes the Findings of Fact sheet.
2. Abutting property owners have been notified of the public hearing by U.S. Mail.
3. A legal notice has been published pursuant to the UDO.
4. A public hearing sign has been placed on the property.

REVIEW CRITERIA:

The Board of Adjustment shall consider the decision criteria found in Article 3.5 of the 2018 UDO. For ease of review and consideration, all of the decision criteria are enumerated below.

3.5.3. Uses permitted subject to conditional use review criteria shall be permitted only after review and approval by the Board of Adjustment only if the applicant demonstrates that:

3.5.3.1 The proposed conditional use conforms to the character of the neighborhood, considering the location, type, and height of buildings or structures and the type and extent of landscaping and screening on the site.

3.5.3.2. Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize traffic congestion on public roads.

3.5.3.3. The proposed use shall not be noxious or offensive by reason of vibration, noise, odor, dust, smoke, or gas.

3.5.3.4. The establishment of the proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.

3.5.3.5. The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, or general welfare.

3.5.3.6. Compliance with any other applicable Sections of this Ordinance.

SCOPE OF APPROVAL.

The approval of a conditional use permit shall authorize the applicant to apply for final site plan approval pursuant to § 3.6 of this Ordinance. All approvals of conditional use permits require approval of the site plan. Any conditional use permit approval shall become null and void if a required site plan is not approved within 12 months after the date of the approval. No zoning clearance permit may be issued until the final major site plan, and conditional use permits are approved. Final major site plan approval may require approval of variances. Approval of a conditional use permit does not authorize any development activity.

The burden of proof or persuasion is on the applicant to show that an application complies with applicable decision criteria. The applicant has provided a letter of narrative responses to the decision criteria supporting its application and will be providing testimony at the public hearing.

Staff Analysis

The subject property is approximately 33.25 acres in size and is currently undeveloped. The natural environment reflects the historical agriculture use on the property with patches of trees and undergrowth. A portion of a tributary of Fuda Creek exists within the southeast portion of the property. Existing land uses vary from farmland, Residential Estate Use, Health Care, and a residential neighborhood.



Proposed Development: The property owner is proposing to develop the site with 134-unit Townhome Community (Attachment B). The community design includes:

- Internal & External Roadway Improvements:
 - Stafford Road is proposed to be extended and will consist of curb, gutter, sidewalk or multi-use path, streetlights, and street trees. The applicant is also conditioned to bring the existing segment of Stafford Road up to Town standards that may include paving, curb & gutter, and sidewalk per terms within the attached Memorandum of Understanding (MOU- Attachment D).
 - Smiling Drive will be extended from the Brookdale Commons community and connect to the proposed Stafford Road extension. This segment will include curb, gutter, sidewalk or multi-use path, streetlights, and street trees.
 - All townhome units will be serviced by a paved rear alley.
 - External Roadway Improvements per the revised Traffic Study (TIA) as follows:
 - Rocky River Road and Stafford Road
 - Conversion of the intersection to a left-over via construction of a concrete median/crossover.
 - Construction of a westbound right-turn lane along Rocky River Road with 100 feet of storage.

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May 21, 2026

- Rocky River Road and Robinson Church Road
 - Extension of the eastbound left-turn lane along Rocky River Road to provide 325 feet of storage.
- Rocky River Road and Perseverance Drive
 - Restripe the southbound approach of perseverance Drive to include separate left-and right-turn lanes.
- Stafford Road Extension and Proposed Residential Lane
 - Construction of the westbound approach with one ingress and one egress lane.
- Open Space: 30% or 10.23 acres and is a mix of active and passive open space. There are proposed 10-wide multi-use paths proposed throughout the neighborhood including around the stormwater pond equipped with benches and dog waste stations. The applicant is offering payment in-lieu of dedicated public open space. This will be processed with the associated preliminary plat and development agreement to be approved by the Town Council.
- Parking: On-site for each unit per the ordinance and on-street parking.
- Architecture: Each building will have diverse architectural enhancements. The project is also conditioned to prohibit exposed concrete foundations on all sides of the building. The photo below is a representation of the planned product.



- The applicant shall process a preliminary plat in accordance with the current UDO and enter into a Development Agreement with the Town.

The project, as conditioned, complies with the development regulations of the March 2021 Unified Development Ordinance (UDO).

BOARD OF ADJUSTMENT CONSIDERATION

The burden of production is on the applicant to show that an application complies with applicable decision criteria. Once the applicant meets that burden, the burden of production shifts to the Town and the opponents of the application. The applicant has provided a letter of narrative responses to the decision criteria supporting its application and will be providing testimony at the public hearing. See attachment A.

A decision criteria worksheet will be provided at the public hearing for board members to record factual testimony.

If the Board finds the proposed development meets the applicable criteria for granting the requested special use permit, staff recommends that the approval be made subject to the following conditions:

1. The development is authorized for a maximum of 134-townhome units as depicted within the Special Use Development Plan.
2. Townhomes shall be serviced by a rear alleyway. Garbage receptacles shall be kept within the garage or within a screened area.
3. The applicant shall obtain permit approval from all state, local, or federal agencies.
4. Transportation improvements are required in compliance with the Transportation Impact Analysis (TIA) performed by Kimley Horn dated 2/13/2024. These improvements are:
 - **Rocky River Road and Stafford Road – Option 1**
 - Conversion of the intersection to a left-over via construction of a concrete median/crossover.
 - Construction of a westbound right-turn lane along Rocky River Road with 100 feet of storage.
 - **Rocky River Road and Robinson Church Road – Option 2**
 - Extension of the eastbound left-turn lane along Rocky River Road to provide 325 feet of storage.
 - **Rocky River Road and Perseverance Drive**
 - Restripe the southbound approach of perseverance Drive to include separate left-and right-turn lanes.
 - **Stafford Road Extension and Proposed Residential Lane**
 - Construction of the westbound approach with one ingress and one egress lane.
5. All infrastructure shall be constructed to Town development standards and regulations or as otherwise depicted within the associated development plan.
6. Each building shall have diverse architectural enhancements, and primary cladding materials for all residential buildings are restricted to masonry or similar products; vinyl siding may be used for soffits, windows, and other accessory features.
7. No exposed concrete foundations are permissible, and appropriate cladding must extend to the ground level on all sides of the attached homes.
8. The offer of payment in lieu of dedicated public open space shall be approved by the Town Council with the preliminary plat and development agreement.
9. All ponds shall be wet detention ponds with fountains. Ponds shall be designed such that there is a minimum depth of ten feet over at least 25% of the permanent pool area. Said pond shall be fenced with a vinyl 4-rail farm fence; preferably white and amenities such as benches and dog waste stations shall be provided.
10. All multi-use paths shall be paved.
11. This Special Use Permit authorizing said project shall become null and void if the required final site plan/preliminary plat and development agreement is not approved within 12 months from the date of approval.

H-2021-03-SUP

May 21, 2026

Attachment A – Application with UDO Attachments

Attachment B – SUP Site Plan

Attachment C – TIA Documents

Attachment D – Memorandum of Understanding for Stafford Road



PETITION FOR A CONDITIONAL USE PERMIT

The Conditional Use Process:

A conditional use is necessary when a proposed land use may have some consequences that may warrant review by the Board of Adjustment. This review is to insure there will be no detrimental effects to surrounding properties nor will it be contrary to the public interest.

In order to apply for a for a conditional use a completed application along with the application fee is required to be turned in to the Zoning Office, 30 days prior to the scheduled public hearing. In order for the Board of Adjustment to grant approval of the conditional use, the applicant must provide the requested information in the following application.

If the Board finds that all approval criteria have been met, they may impose reasonable conditions upon the granting of any conditional use to insure public health, safety, and general welfare. If the application is approved the applicant then may proceed with securing all required local and state permits necessary for the endeavor. Failure to follow conditions set in the approval process would result in a violation of the Zoning Ordinance.

If there are additional questions concerning this process, please call the Zoning Office at (704) 455-5614.

TO THE BOARD OF ADJUSTMENT:

I, HEREBY PETITION THE BOARD OF ADJUSTMENT TO GRANT THE ZONING ADMINISTRATOR THE AUTHORITY TO ISSUE A CONDITIONAL USE PERMIT FOR THE USE OF THE PROPERTY AS DESCRIBED BELOW.

Applicant's Name Property Owner's Name

Lennar Carolinas, LLC Attn: Mr. David Nelson

Lennar Carolinas, LLC Attn: Mr. David Nelson

Applicant's Address

6701 Carmel Road, Suite 425

Property Owner's Address

6701 Carmel Road, Suite 425

Charlotte, NC 28226

Charlotte, NC 28226

Applicants Telephone Number 704-309-3288

Parcel Information

Existing Use of Property Single-Family detached (vacant)

Proposed Use of Property Single Family, attached

Existing Zoning O-I Office-Institutional District

Property Location 9105 Stafford Rd

Property Acreage 33.25 AC

Tax Map and Parcel Number (PIN) 55062487870000

Land Use of Adjacent Properties

(Provide Plat Map if Available)

NORTH LDR (single family residential - vacant)

SOUTH LDR, (single-family residential - vacant) O-I, C-2 (commercial)

EAST CZ-RV (Single-Family residential)

WEST O-I (farmland - vacant)

General Requirements

1. The Zoning Ordinance imposes the following general requirements on the use requested by the applicant. Under each requirement, the applicant should explain, with reference to the attached plans, where applicable, how the proposed use satisfies these requirements.

The Board must find that the uses(s) as proposed "are not detrimental to the public health, safety or general welfare."

Development poses no detriment to public health or welfare since proposed development is 150 Single-Family Residential attached units which is permitted in the current O-I zoning.

The Board must find that the use(s) as proposed "are appropriately located with respect to transportation facilities, water supply, fire and police protection, waste disposal, etc."

Proposed Development fulfills requirement in providing minimum of two connections to public streets, including extension of Stafford Road to the west and Smiling Drive to the east. Single-family Residential development to connect to existing public water and sewer infrastructure. Development is located within tax fire and police district.

The Board must find that the use(s) as proposed "will not violate neighborhood character nor adversely affect surrounding land uses."

Proposed development for 150 single-family attached units maintains neighborhood character by maintaining residential use similar to existing adjacent developments. Development adheres to RC Residential Compact Ordinance standards for single-family attached residential withing current O-I zoning.

The Board must find that the use(s) as proposed "will comply with the general plans for the physical development of the County or Town, as embodied in the Zoning Ordinance or in the area development plans that have been adopted."

Proposed development for 150 single-family attached residential adheres to RC Residential Compact Ordinance standards for single-family attached residential development withinin O-I zoning as allowed for by applying for Conditional Use Permit and is consistent with adjoining residential developments

2. The Zoning Ordinance also imposes SPECIFIC REQUIREMENTS on the use(s) requested by the applicant. The applicant should be prepared to demonstrate that, if the land is used in a manner consistent with the plans, specifications, and other information presented to the Board, the proposed use(s) will comply with specific requirements concerning the following:

Nature of use (type, number of units, and/or area):

Single - Family Residential (attached) containing 150 Units

Accessory uses (if any):

Each townhouse unit provides a detached garage.

Setback provisions:

Principle Use

Front: 20' Side: 20' Rear: 20'

Accessory Use

Front: N/A Side: 20' Rear: 20'

Height provisions:

Principle Use 35' Accessory Use 35'

Off street parking and loading provisions: (include calculations)

Minimum Vehicle Spaces required: 221 vehicle spaces [(147 units x 1.5 vehicle spaces (as per table 8.1-6))]
Vehicle spaces provided: 444 total vehicle spaces (147 units x 3 vehicle spaces per unit + 3 parking spaces at mail kiosk).

Signage & Entrance Monuments to comply with Town of Harrisburg UDO.

Provisions for screening landscaping and buffering: (if required add to site plan)

Type B buffer (includes 15' Min. width as per table 7.4-2) for existing Land use class 3 (O-I Office_Institutional) to proposed class 2 (Residential uses - other than class 1)
See table 7.4-1 Buffer Yard Chart.

Provisions for vehicular circulation and access to streets: (provide NCDOT permit if necessary)

N/A

Adequate and safe design for grades, paved curbs and gutters, drainage systems, and treatment or turf to handle storm waters, prevent erosion, subdue dust:

City of Harrisburg Design Standards use for Street Design. Please see sheet 2.0 of Conditional Permit Use Application.

An adequate amount and safe location of play areas for children and other recreational uses according to the concentration of residential property:

Minimum active Open space met including natural recreational trail within property.

Compliance with overlay zones including but not limited to the Thoroughfare Overlay and the River/Stream Overlay Zones:

Refer to CUP Site Plan.

Compliance with the Flood Damage Prevention Ordinance:

Refer to Attached Site Plan.

Other requirements may be requested by the applicant or specified by the Board for protection of the public health, safety, welfare, and convenience:

Predefined Standards

Each individual Conditional Use listed in the Zoning Ordinance may have specific standards imposed. Refer to the Conditional Use section of the Zoning Ordinance for these requirements. Each standard should be addressed in the site plan submitted along with this application.

Required Attachments/Submittals

1. Printout of names and addresses of all immediately adjacent property owner, including any directly across the street.
2. Scaled site plan containing all requested information above on legal or ledger sized paper. Larger sized copies will be accepted if copies for each Board Member is provided for distribution.

Certification

I hereby confirm that the information contained herein and herewith is true and that this application shall not be scheduled for official consideration until all of the required contents are to the Zoning Department.

Signature of Applicant David Nelson Date 1/12/2021
 Signature of Owner David Nelson Date 1/12/2021



STAFF USE ONLY:

David Nelson
 VP of Land Acquisitions
 Lennar Carolinas, LLC

Application Fee Collected Yes Yes No _____

Posted Database Yes _____ No _____

Site Plan Attached Yes Yes No _____

Public Hearing Date Notice of Public Hearing Published On
May 21, 2026

Notices to Applicant(s) and Adjoining Property Owners Mailed On
May 21, 2026

Signs Posted On
May 21, 2026

Process Record

Record of Decision:

Motion to: Approve _____ Deny _____

Board of Adjustment Recommendation: Approve _____ Deny _____

Action Taken by Board of Adjustment:

Date Notification of Action Mailed to Applicant(s):

Signature of Zoning Official

TABLE 4.6-1: PRINCIPAL USES PERMITTED IN ZONING DISTRICTS

* All uses permitted in the CC, CD, and I-1 Districts are subject to supplemental design regulations in Article 11 of this Ordinance.

P - Permitted Use S - Permitted Use with Supplemental Regulations in Article 5 and/or Article 11

C - Conditional Use (-) Prohibited Use

ZONING DISTRICTS

USE NAICS AG RE RL RM-1 RM-2 RV RC B-1 O-I CC* C-1 C-2 CD* I-1* I-2

RESIDENTIAL

Accessory Dwellings (§ 5.3)	-	P/S	P/S	P/S	P/S	P/S	P/S	P/S	P/S	-	-	-	-	-	-	-	-	-	-
Duplex (Two dwelling units per lot)	-	-	-	-	C/S	-	P	-	P	-	-	-	-	-	-	-	-	-	-
Family Care Home (see Appendix A for definition)	-	P	P	P	P	P	P	C	C	C	C	C/S	-	-	-	-	-	-	-
Home Occupations (§ 5.12)	-	P/S	P/S	P/S	P/S	P/S	P/S	P/S	P/S	-	-	-	-	-	-	-	-	-	-
Multi-family Dwellings - 3 or more dwelling units (§ 11.2)	-	-	-	-	-	-	-	C/S	P/S	C/S	C/S	C/S	-	-	-	-	-	-	-
Single-family, attached (§ 11.2)	-	-	-	-	-	-	-	P/S	P/S	C/S	C/S	C/S	-	-	-	-	-	-	-
Single-family, detached (§ 5.24)	-	P/S	P	P	P	P	C	C	C	C	C	-	-	-	-	-	-	-	C/S
Single-family, manufactured home	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Single-family, modular home	-	P	P	P	P	P	C	C	C	-	-	-	-	-	-	-	-	-	-
Family Subdivisions (§ 5.34)	-	P/S	P/S	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-

INSTITUTIONAL AND CIVIC

Animal Shelter	-	C	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Auditorium/Indoor Public Assembly, up to 350 seats	-	C	C	C	C	C	C	C	C	P	P	P	P	-	-	-	-	-	-
Auditorium/Indoor Public Assembly, more than 350 seats	-	-	-	-	-	-	-	-	-	C	C	C	C	C	C	C	C	C	-
Botanical Gardens/Nature Preserves	71213, 71219	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P
Campgrounds, private (§ 5.8)	7212	C/S	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	C/S
Cemeteries, Crematories, & Mausoleums (§ 5.9)	81222	C/S	C/S	C/S	C/S	C/S	C/S	C/S	C/S	C/S	C/S	C/S	C/S	C/S	C/S	C/S	C/S	C/S	P/S
Child Care Center (§ 5.16)	6244	P/S	C/S	C/S	C/S	C/S	C/S	C/S	C/S	C/S	C/S	C/S	C/S	C/S	C/S	C/S	C/S	C/S	P/S
Civic, Social, and Fraternal Organizations	8134	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C/S
Correctional Institutions	92214	C	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	C
Country Club	71391	P	P	P	P	P	P	P	P	-	-	-	-	-	-	-	-	-	P
Convention Center/Visitors Bureau	561591	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P
Golf Course, public or private	71391	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	-
Government Buildings (excl. correctional institutions) and Facilities	-	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	P
Hospital	622	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P
Museums and Art Galleries	71211, 71212	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	P
Park - Public, neighborhood	71219	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P
Park - Public, other than neighborhood	71219	P	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	P
Performing Arts Companies & Artists	7111	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Postal Service Facilities	491	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P
Recreational Sports Clubs (Hunting Clubs, Fishing Clubs, etc.)	713990	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	-
Religious Institutions, up to 350 seats	8131	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	P/S
Religious Institutions, more than 350 seats	8131	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Residential Care Facilities (includes Group Homes) (§ 5.17)	623	P/S	P/S	P/S	P/S	P/S	P/S	P/S	P/S	P/S	P/S	P/S	P/S	P/S	P/S	P/S	P/S	P/S	-
School - Boarding	6111	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	-
School - Business, Computer and Management	6114	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P
School - Charter, Private & Parochial	61111	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	-

Table 4.7-1 Dimensional and Density Standards

Zoning District	A		B	C	D		E		F	G
	Min. Lot Size (sq. ft.)	Max. Density (per acre)	Impervious Surface Ratio	Min. Public Street Frontage (feet)	Min. Lot Width (feet)	Min. Lot Depth (feet)	Max. Building Height (feet)			
AG**	43,560	1	-	30^	200	200	35			
RE	43,560	1	-	30^	150	150	35			
RL	20,000	2	-	15^	100	125	35			
RM-1	15,000	3	-	15^	75	125	35			
RM-2	10,000	4	-	15^	75	100	35			
RV	7,500	8	0.5	15^	50	100	35			
RC	5,000	15	0.5	15^	50	100	35			
B-1	-	-	0.65	30^	50	100	50			
CC	-	-	-	-	-	-	72			
O-I	-	-	0.7	-	-	-	35			
C-1	-	-	0.7	-	-	-	48			
C-2	-	-	0.8	30^	50	100	48			
CD	-	-	0.8	30^	100	100	72			
I-1	-	-	0.8	30^	50	100	72			
I-2	-	-	0.9	30^	50	100	72			

Zoning District

Building Setbacks

Zoning District	PRINCIPAL STRUCTURES			ACCESSORY STRUCTURES		
	Min. Front Setback (feet)	Max. Front Setback (feet)	Min. Interior Sideyard Setback (feet)	Min. Interior Sideyard Setback (feet)	Min. Rear Setback (feet)	Min. Rear Setback (feet)
AG	50	-	20	10	10	10
RE	45	-	20	5	5	5
RL	35	-	15	5	5	5
RM-1	25	-	10	5	5	5
RM-2	25	-	10	5	5	5
RV	20	35	7	5	5	5
RC	20	30	7	5	5	5
B-1	10	-	10	10	20	10
CC	-	10	-	-	-	-
O-I	10	-	-	-	-	-
C-1	10	-	-	-	-	-
C-2	10	-	-	-	-	-
CD	30	-	-	-	-	-
I-1	30	-	-	-	-	-
I-2	30	-	-	-	-	-

Zoning District

NOTES:

* Residences permitted in non-residential districts shall conform to the dimensional standards of the RC district.

**Rural subdivisions (AG zone) are subject to the additional provisions of Section 5.25.

In permitted districts, multi-family and/or single-family be subject to attached developments shall only Columns B, C, D, and I. Setbacks for Multi-family and Single-family attached developments are set forth in Sect. 11.2 of this Ordinance.

****Cluster developments are not subject to lot size, width or depth requirements but are still subject to ratios, and maximum building height requirements.

^ See Sect. 6.6.5 for exceptions.

3.5. CONDITIONAL USE PERMITS.

3.5.1. APPLICABILITY.

3.5.1.1. Conditional uses are generally compatible with the land uses permitted by right in a zoning district, but which require individual review of their location, design, and configuration. Conditional uses ensure the appropriateness of the use at a particular location within a given zoning district.

3.5.1.2. Only those uses that are enumerated as conditional uses in a zoning district, as set forth in § 4.6, Table 4.6-1 of this Ordinance, shall be authorized by the Board of Adjustment.

3.5.2. APPROVAL PROCEDURE. (See Figure 3.5-1)

3.5.2.1. No conditional use permit shall be authorized, developed, or otherwise carried out until the applicant has secured approval of the conditional use by the Board of Adjustment and approval of a final site plan by the Administrator.

3.5.2.2. Applications for conditional use permit approvals shall be filed with the Administrator as illustrated in Figure 3.5-1. Pre-application meetings with the Administrator prior to filing are required.

3.5.2.3. Major site plan applications (see Appendix B) shall be filed concurrently with conditional use permit applications. The information shall be provided to the Board of Adjustment during their deliberations.

3.5.2.4. The Board of Adjustment shall conduct a quasi-judicial hearing in accordance with the requirements of § 3.1.7 of this Ordinance. The Board of Adjustment shall conduct a quasi-judicial hearing and shall deny the request, approve the request; or approve the request with conditions.

3.5.2.5. The Board of Adjustment may place conditions on the use as part of the approval to assure that adequate mitigation measures are associated with the use. The conditions shall become a part of the conditional use permit approval and shall be included in the final site plan application.

3.5.2.6. Violations of any of the conditions shall

be treated in the manner as set forth in § 1.6 of this Ordinance.

3.5.2.7. An application for a conditional use permit that has been denied may be resubmitted only if there has been a substantial change in circumstances, as determined by the Administrator, or if substantial revisions have been made to the application for development approval.

3.5.2.8. Minor field alterations or minor revisions to approved conditional uses may be approved by the Administrator if the conditional use still meets the intent of the standards established with the original approval. Minor alteration/revisions shall be limited to changes that do not increase the intensity, density, or character of the use. If the Administrator determines that the change is not minor, the applicant shall be required to apply for a revised Conditional Use Permit. The applicant may appeal the decision of the Administrator to the Board of Adjustment.

3.5.3. APPROVAL CRITERIA.

Uses permitted subject to conditional use review criteria shall be permitted only after review and approval by the Board of Adjustment only if the applicant demonstrates that:

3.5.3.1. The proposed conditional use conforms to the character of the neighborhood, considering the location, type, and height of buildings or structures and the type and extent of landscaping and screening on the site.

3.5.3.2. Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize traffic congestion on the public roads.

3.5.3.3. The proposed use shall not be noxious or offensive by reason of vibration, noise, odor, dust, smoke or gas.

3.5.3.4. The establishment of the proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.

3.5.3.5. The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, or general welfare.

3.5.3.6. Compliance with any other applicable Sections of this Ordinance.

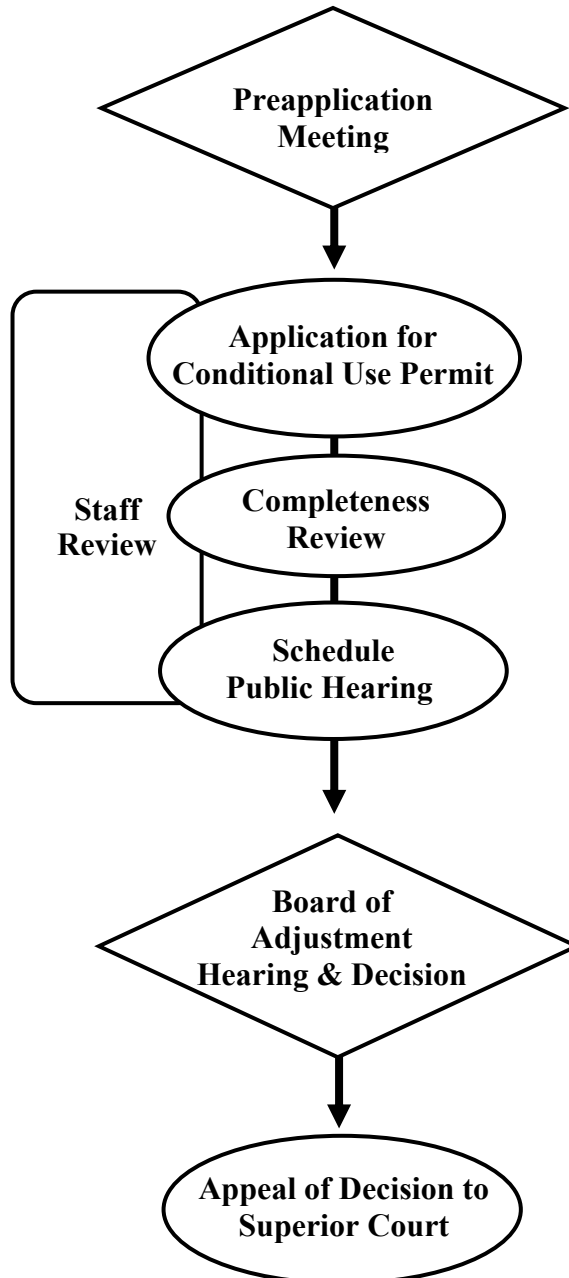
3.5.4. SCOPE OF APPROVAL.

The approval of a conditional use permit shall authorize the applicant to apply for final site plan approval pursuant to § 3.6 of this Ordinance. All approvals of conditional use permits require approval of the site plan. Any conditional use permit approval shall become null and void if a required site plan is not approved within 12 months after the date of the approval. No zoning clearance permit may be issued until the final major site plan and conditional use permits are approved. Final major site plan approval may require approval of variances. Approval of a conditional use permit does not authorize any development activity.

3.5.5. SUBSEQUENT APPLICATIONS.

Subsequent applications for a conditional use permit shall be handled in the same manner as that for rezonings prescribed in § 3.3.8.

Figure 3.5-1 – CONDITIONAL USE PERMIT REVIEW PROCESS





HarrisburgNC

Special Use Permit Finding Worksheet

Special Uses are generally compatible with the land uses permitted by right in a zoning district, but require individual review of their location, design, and configuration. Special uses ensure the appropriateness of the use at a particular location within a given zoning district. Only those uses that are enumerated as Special Uses in a zoning district, as set forth in §140.02, *Zoning Districts and Standards*, shall be authorized by the Board of Adjustment.

All Special Use Permit (SUP) applications are subject to a public hearing where evidence is presented and considered by the Board of Adjustment to render a decision to approve, approve with conditions, or deny the request. The applicant bears the burden to produce evidence to show standards are met. The standards can be found in Table 145.01.07-1, Common Decision Criteria Applicability, identified within the Harrisburg Unified Development Ordinance (UDO) as outlined below.

The applicant shall submit this worksheet with the [Quasi-Judicial Application](#), site plan, and processing fees to planning@harrisburgnc.gov, initiating the SUP process.

Specific Review Criteria:

In determining whether to approve, approve with conditions, or deny a Special Use Permit, the applicable review bodies shall consider the provisions of Section 145.01.07, Common Decision Criteria, together with the following:

1. *Ingress and Egress.* Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize traffic congestion on the public roads.

The applicant shall construct transportation improvements in accordance with the approved Traffic Impact Analysis. Additionally, as illustrated on the Special Use Permit Site Plan, Smiling Drive will be extended to Stafford Road, and right-of-way will be dedicated to accommodate the future realignment of Stafford Road, ensuring adequate ingress and egress.

2. *Nuisances.* The proposed use shall not be noxious or offensive by reason by vibration, noise, odor, dust, smoke, gas;

The proposed use is attached single-family residential which shall not be noxious or offensive by reason by vibration, noise, odor, dust, smoke, or gas.

3. *Orderly Development.* The establishment of the proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district:

The proposed attached single-family use will not adversely affect the development or improvement of

surrounding properties which are currently zoned for residential and office uses.

4. *Other Sections.* Compliance with any other applicable Sections of the UDO.
Please refer to the attached Special Use Permit and associated Development Notes on Sheet 2.
-
-

5. *Has the administrative body considered the recommendation of Staff in the public meeting or hearing?*
- Yes, the administrative body will consider the recommendation of staff at the hearing.

6. *Is the request consistent with applicable policies of the most recently adopted HALUP, any applicable utility plans, and adopted capital improvements plans; or, if it addresses a topic that is not contained or not fully developed in the HALUP, does the request impair the implementation of the HALUP? See HALUP here: [HALUP](#)*

The site is located within the Mixed Use area of the adopted HALUP Future Land Use Plan, which encourages a mix of residential housing types. The HALUP also calls for the extension of Smiling Drive to Stafford Road, which shall be provided as illustrated on the Special Use Permit Site Plan.

7. *Does the project provide adequate facilities, including public or private utilities, solid waste service, roads, drainage, and other improvements are present or are planned to be provided?*

Public water and sewer will be extended to the site through existing infrastructure in Brookedale Commons. Drainage system will be installed and permitted through the Town of Harrisburg and NCDEQ.

8. *Does the request demonstrate compatibility with surrounding conforming and permitted land uses and structures and with the essential character of the general vicinity of design, façade treatment, setbacks, building materials, and reasonable anticipated negative impacts?*

The applicant has agreed to restrict primary exterior cladding materials for all residential buildings to masonry or comparable products, with vinyl siding prohibited, in order to minimize potential impacts and ensure compatibility with the character of the surrounding area. Additionally, the applicant has committed to prohibiting exposed concrete foundations, requiring that siding and/or other approved materials extend to ground level on all sides of the proposed homes.

If you have any questions regarding this worksheet, please reach out to the planning staff by phone 704-455-0738 or by email planning@harrisburgnc.gov.

To learn more about the Towns Unified Development Ordinance (UDO) please visit this link: <https://www.harrisburgnc.org/615/Unified-Development-Ordinance-Adopted-8->

To learn more about Special Use Permits, please visit this link: <https://online.encodeplus.com/regs/harrisburg-nc/doc-viewer.aspx#secid-3973>

LENNAR®

May 15, 2026

Ms. Shelley DeHart
Town of Harrisburg, Planning and Zoning
4100 Main Street
Harrisburg, NC 28075

RE: The Preserve at Litchfield - Request for Payment In-Lieu of Public Open Space Dedication

Dear Ms. DeHart

In response to the comment regarding Public Open Space requirements, please accept this letter as the applicant's formal request to provide payment in-lieu of public open space dedication for the subject project.

The required public open space obligation for the project is calculated at 3.83 acres. Based on the applicable taxable value per acre, the payment in-lieu calculation is as follows:

- * Required Public Open Space: 3.83 acres
- * Taxable Value per Acre: \$20,235
- * Total Payment In-Lieu Amount: \$77,500

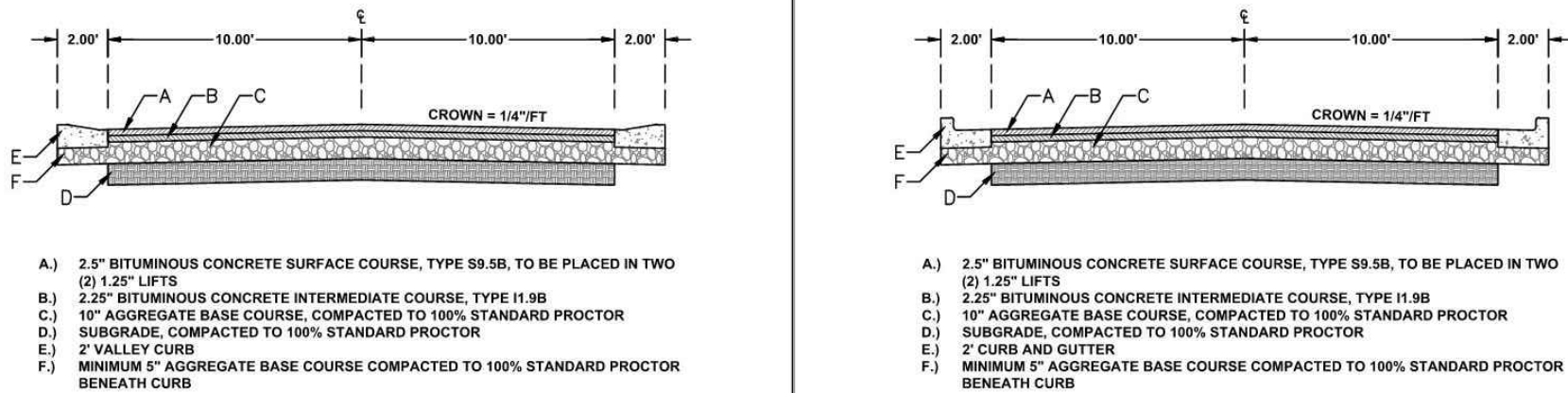
The applicant respectfully requests that the City accept payment in-lieu of public open space dedication in satisfaction of this requirement. We understand this request will be included in the SUP documents and finalized as part of the preliminary plat and development agreement process.

Sincerely,



Joel Causey
Director of Land Entitlement
Lennar Carolinas, LLC

Figure 7.4-1: Type A Buffer Planting Standards

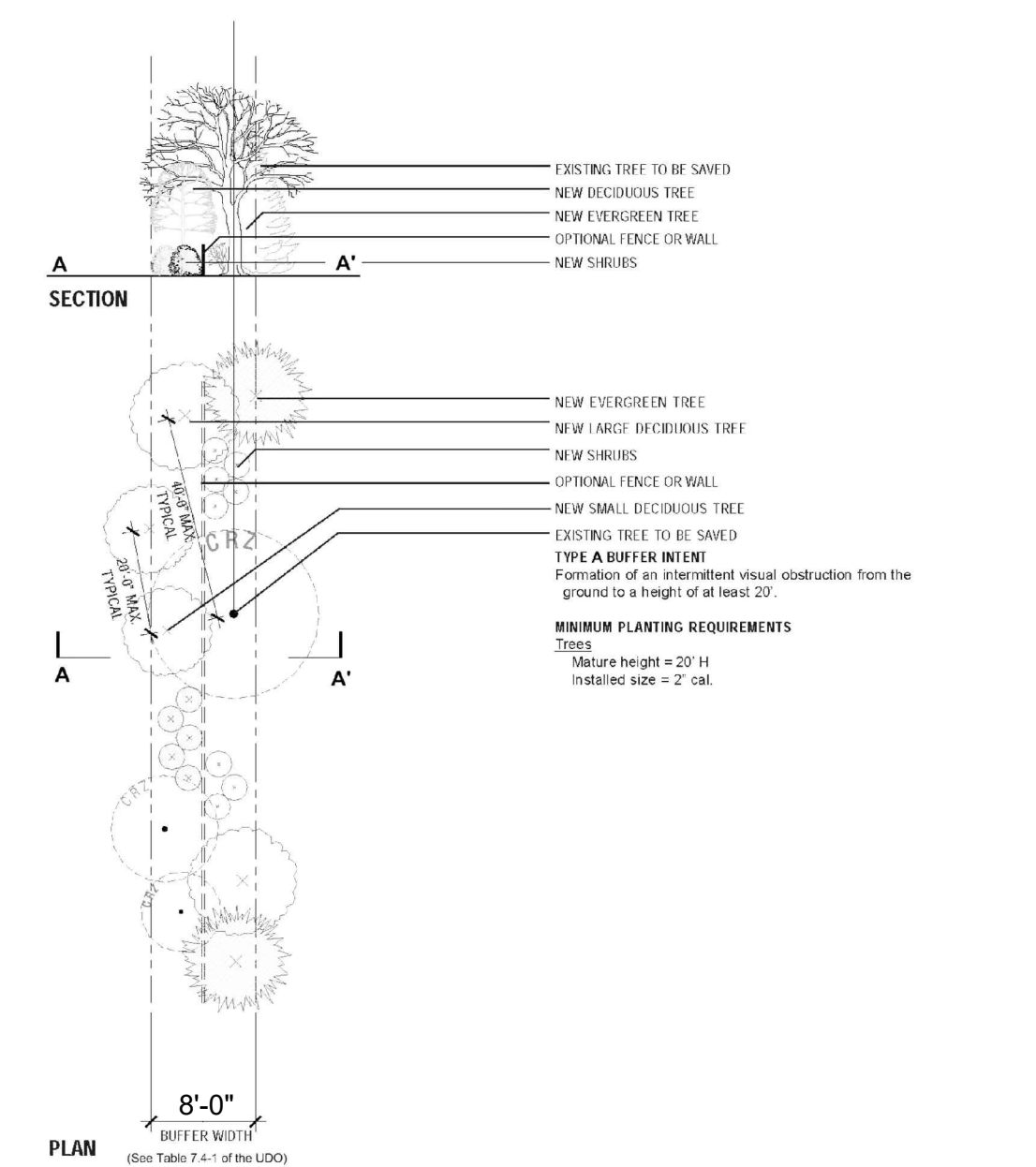


- A) 2.5" BITUMINOUS CONCRETE SURFACE COURSE, TYPE S9.5B, TO BE PLACED IN TWO (2) 1.25' LIFTS
- B) 2.25" BITUMINOUS CONCRETE INTERMEDIATE COURSE, TYPE I1.9B
- C) 1" AGGREGATE BASE COURSE, COMPACTED TO 100% STANDARD PROCTOR
- D) SUBGRADE, COMPACTED TO 100% STANDARD PROCTOR
- E) 2" VALLEY CURB
- F) MINIMUM 5" AGGREGATE BASE COURSE COMPACTED TO 100% STANDARD PROCTOR BENEATH CURB

REV. DATE: 06/10/2024
 DRAWN BY: AAP

TYPICAL SECTIONS
PRIVATE ALLEY

Figure 7.4-2: Type C & D Buffer Planting Standards

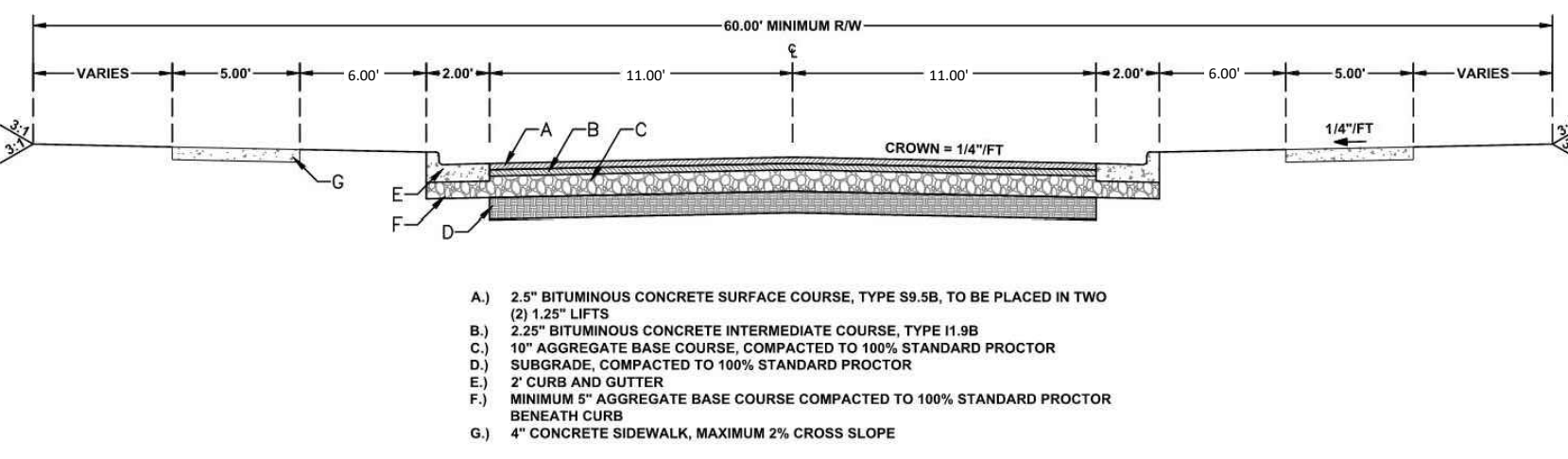


- A) 2.5" BITUMINOUS CONCRETE SURFACE COURSE, TYPE S9.5B, TO BE PLACED IN TWO (2) 1.25' LIFTS
- B) 2.25" BITUMINOUS CONCRETE INTERMEDIATE COURSE, TYPE I1.9B
- C) 1" AGGREGATE BASE COURSE, COMPACTED TO 100% STANDARD PROCTOR
- D) SUBGRADE, COMPACTED TO 100% STANDARD PROCTOR
- E) 2" CURB AND GUTTER
- F) MINIMUM 5" AGGREGATE BASE COURSE COMPACTED TO 100% STANDARD PROCTOR BENEATH CURB

REV. DATE: 06/10/2024
 DRAWN BY: AAP

TYPICAL SECTIONS
PRIVATE ALLEY

8' TYPE "A" BUFFER PLANTING STANDARDS

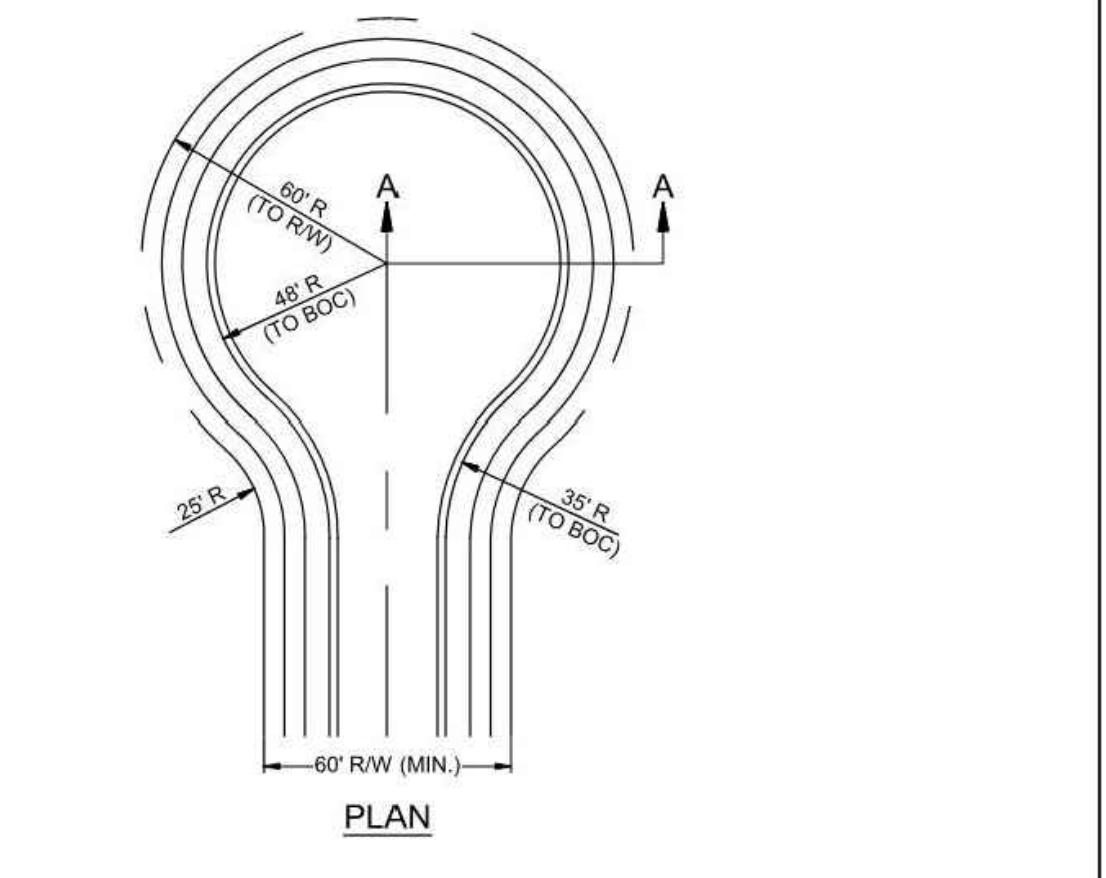


- A) 2.5" BITUMINOUS CONCRETE SURFACE COURSE, TYPE S9.5B, TO BE PLACED IN TWO (2) 1.25' LIFTS
- B) 2.25" BITUMINOUS CONCRETE INTERMEDIATE COURSE, TYPE I1.9B
- C) 1" AGGREGATE BASE COURSE, COMPACTED TO 100% STANDARD PROCTOR
- D) SUBGRADE, COMPACTED TO 100% STANDARD PROCTOR
- E) 2" CURB AND GUTTER
- F) MINIMUM 5" AGGREGATE BASE COURSE COMPACTED TO 100% STANDARD PROCTOR BENEATH CURB
- G) 4" CONCRETE SIDEWALK, MAXIMUM 2% CROSS SLOPE

REV. DATE: 06/10/2024
 DRAWN BY: AAP

TYPICAL SECTION
60' R/W RESIDENTIAL STREET

Figure 7.4-2: Type B Buffer Planting Standards



- A) 2.5" BITUMINOUS CONCRETE SURFACE COURSE, TYPE S9.5B, TO BE PLACED IN TWO (2) 1.25' LIFTS
- B) 2.25" BITUMINOUS CONCRETE INTERMEDIATE COURSE, TYPE I1.9B
- C) 1" AGGREGATE BASE COURSE, COMPACTED TO 100% STANDARD PROCTOR
- D) SUBGRADE, COMPACTED TO 100% STANDARD PROCTOR
- E) 2" CURB AND GUTTER
- F) MINIMUM 5" AGGREGATE BASE COURSE COMPACTED TO 100% STANDARD PROCTOR BENEATH CURB
- G) 4" CONCRETE SIDEWALK, MAXIMUM 2% CROSS SLOPE

REV. DATE: 11/18/2024
 DRAWN BY: AAP

TYPICAL SECTION
60' R/W RESIDENTIAL STREET - PARALLEL PARKING ON ONE SIDE

TYPICAL CROSS SECTION AND MINIMUM PAVEMENT SECTION

- A) 1.5" BITUMINOUS CONCRETE SURFACE COURSE, TYPE S9.5B
- B) 2.25" BITUMINOUS CONCRETE INTERMEDIATE COURSE, TYPE I1.9B
- C) 8" AGGREGATE BASE COURSE COMPACTED TO 100% STANDARD PROCTOR
- D) SUBGRADE COMPACTED TO 100% STANDARD PROCTOR
- E) 2.0" STANDARD CURB & GUTTER
- F) MINIMUM 5" AGGREGATE BASE COURSE COMPACTED TO 100% STANDARD PROCTOR BENEATH CURB
- G) 4.0" CONCRETE SIDEWALK, MAXIMUM 2.0% CROSS SLOPE

REV. DATE: 11/18/2024
 DRAWN BY: AAP

TYPICAL SECTION
60' R/W RESIDENTIAL STREET - PARALLEL PARKING ON ONE SIDE

PROJECT MANAGER: MAH
 DRAWN BY: PMK
 DATE: 5/17/2022

TYPICAL RESIDENTIAL
CUL-DE-SAC SECTION

DRAWING NUMBER: 6 OF 15

DEVELOPMENT NOTES:

- ZONING DISTRICTS/ORDINANCE** - DEVELOPMENT OF THE SITE WILL BE GOVERNED BY THE SPECIAL USE PERMIT PLAN AS WELL AS THE APPLICABLE PROVISIONS OF THE HARRISBURG ORDINANCE ("THE ORDINANCE"). UNLESS THE SPECIAL USE PERMIT PLAN ESTABLISHES MORE STRINGENT STANDARDS, THE REGULATIONS ESTABLISHED UNDER THE ORDINANCE FOR THE ZONING CLASSIFICATION SHALL GOVERN.
- GRAPHICS AND ALTERATIONS** - THE SCHEMATIC DEPICTIONS LOTS, SIDEWALKS, STRUCTURES AND BUILDINGS, DRIVEWAYS, STREETS AND OTHER DEVELOPMENT MATTERS AND SITE ELEMENTS COLLECTIVELY THE "DEVELOPMENT/SITE ELEMENTS" SET FORTH ON THE SPECIAL USE PERMIT PLAN SHOULD BE REVIEWED IN CONJUNCTION WITH THE PROVISIONS OF THESE DEVELOPMENT STANDARDS. THE LAYOUT, LOCATIONS, SIZES AND FORMULATIONS OF THE DEVELOPMENT/SITE ELEMENTS PROPOSED, CHANGES TO THE SPECIAL USE PERMIT PLAN NOT ANTICIPATED BY THE SPECIAL USE PERMIT PLAN WILL BE REVIEWED AND APPROVED AS ALLOWED BY ORDINANCE.
- SINCE THE PROJECT HAS NOT UNDERGONE THE SITE DEVELOPMENT AND CONSTRUCTION PHASES, IT IS INTENDED THAT THIS SPECIAL USE PERMIT PLAN PROVIDE FLEXIBILITY IN ALLOWING SOME ALTERATIONS AND MODIFICATIONS FROM THE GRAPHIC REPRESENTATIONS OF THE DEVELOPMENT/SITE ELEMENTS. THEREFORE, THERE MAY BE INSTANCES WHERE MINOR MODIFICATIONS WILL BE ALLOWED WITHOUT REQUIRING THE ADMINISTRATIVE AMENDMENT PROCESS PER THE ORDINANCE. THESE INSTANCES WOULD INCLUDE CHANGES TO GRAPHICS IF THEY ARE MINOR AND DO NOT MATERIALLY CHANGE THE OVERALL DESIGN INTENT DEPICTED ON THE SPECIAL USE PERMIT PLAN.
- THE PLANNING DIRECTOR WILL DETERMINE IF SUCH MINOR MODIFICATIONS ARE ALLOWED PER THIS AMENDED PROCESS, AND IF IT IS DETERMINED THAT THE ALTERATION DOES NOT MEET THE CRITERIA DESCRIBED ABOVE, THE PETITIONER SHALL THEN FOLLOW THE ADMINISTRATIVE AMENDMENT PROCESS OF THE ORDINANCE, IN EACH INSTANCE, HOWEVER, SUBJECT TO THE PETITIONER'S APPEAL RIGHTS SET FORTH IN THE ORDINANCE.
- NUMBER OF BUILDINGS, PRINCIPAL AND ACCESSORY: THE TOTAL NUMBER OF PRINCIPAL BUILDINGS SHALL NOT EXCEED ONE HUNDRED THIRTY FOUR (134). ACCESSORY BUILDINGS AND STRUCTURES SHALL NOT BE CONSIDERED IN ANY LIMITATION ON THE NUMBER OF BUILDINGS ON THE SITE.
- ALL STORMWATER CONTROL MEASURES SHALL BE DESIGNED SUCH THAT THERE IS A MINIMUM DEPTH OF 12" OVER AT LEAST 25% OF THE PERMANENT POOL AREA. PONDS SHALL BE FENCED. A PAVED MULTI-USE PATH SHALL BE PROVIDED AROUND THE STORMWATER CONTROL MEASURE WITH OTHER AMENITIES SUCH AS BENCHES, LIGHTING OR A DOG WASTE STATION.
- ALL STORMWATER PONDS SHALL BE DESIGNED SUCH THAT THE PERMANENT POOL ELEVATION IS AT LEAST 5' AWAY FROM THE PROPERTY LINE AND THE TOP OF DAM IS A MINIMUM OF 2' FROM THE PROPERTY LINE. THE OUTFALL DRAINAGE SHALL BE DESIGNED SUCH THAT IT DOES NOT CAUSE ADVERSE EFFECTS ON DOWNSTREAM PROPERTIES.
- APPLICANT AGREES TO OBTAIN ANY AND ALL APPLICABLE LOCAL, STATE, AND FEDERAL PERMITS REQUIRED FOR DEVELOPMENT PRIOR TO ANY DEVELOPMENT ACTIVITY.
- APPLICANT AGREES TO INSTALL ALL REQUIRED IMPROVEMENTS AS REQUIRED BY THE FINAL TRAFFIC IMPACT ANALYSIS.
- APPLICANT AGREES TO RESTRICT PRIMARY CLADDING MATERIALS FOR ALL RESIDENTIAL BUILDINGS TO MASONRY TO SIMILAR PRODUCTS - VINYL SIDING WILL NOT BE USED.
- APPLICANT AGREES THAT ALL TOWNHOMES SHALL BE FOR SALE AS INDIVIDUAL TOWNHOME LOTS
- APPLICANT AGREES THAT THERE WILL BE NO EXPOSED CONCRETE FOUNDATIONS AND THAT SIDING AND/OR OTHER MATERIAL MUST EXTEND TO GROUND LEVEL ON ALL SIDES OF PROPOSED HOMES.
- APPLICANT AGREES THAT MAILBOX CLUSTERS SHALL HAVE A ROOF STRUCTURE AND SHALL MEET ADA STANDARDS AT A MINIMUM.

- ACCESS POINTS/DRIVEWAYS/STREETS**
- ACCESS TO THE SITE WILL BE FROM CONNECTION TO STAFFORD ROAD ON THE WESTERN PART OF THE SITE, AND CONNECTION TO SMILING DRIVE TO THE EASTERN PART OF THE SITE THUS EXTENDING SMILING DRIVE TO STAFFORD ROAD, AS DEPICTED IN THE SPECIAL USE PERMIT PLAN.
 - THE PLACEMENT AND CONFIGURATION OF THE VEHICULAR ACCESS POINTS ARE SUBJECT TO ANY MINOR MODIFICATIONS REQUIRED TO ACCOMMODATE FINAL SITE DEVELOPMENT AND CONSTRUCTION PLANS AND TO ANY ADJUSTMENTS REQUIRED FOR APPROVAL BY THE TOWN OF HARRISBURG AND/OR NCDOT IN ACCORDANCE WITH APPLICABLE PUBLISHED STANDARDS.
 - THE PETITIONER SHALL INSTALL TRANSPORTATION IMPROVEMENTS PER THE APPROVED TRAFFIC IMPACT ANALYSIS.
 - THE PETITIONER WILL DEDICATE AND CONVEY RIGHT-OF-WAY FOR THE POTENTIAL FUTURE STAFFORD ROAD REALIGNMENT AND ROUNDABOUT (APPROX. +/- 0.78 ACRES) TO THE TOWN OF HARRISBURG AS INDICATED AND GENERALLY DEPICTED ON THE SUP PLAN.

- STREETScape, BUFFERS, YARDS, LANDSCAPING**
- AN EIGHT (8) FOOT TYPE "A" LANDSCAPE BUFFER SHALL BE PROVIDED BETWEEN ADJACENT LAND USES OF THE SAME CLASS.
 - A FIFTEEN (15) FOOT TYPE "B" LANDSCAPE BUFFER SHALL BE PROVIDED AS GENERALLY DEPICTED.
 - WHERE APPLICABLE, EXISTING VEGETATION SHALL BE USED TO MEET THE BUFFER REQUIREMENTS IN ORDER TO PRESERVE EXISTING TREE CANOPY. A SURVEY WILL BE CONDUCTED AT THE CONSTRUCTION DOCUMENT PHASE OF EXISTING PLANT MATERIAL THAT IS TO BE COUNTED TOWARD THE REQUIRED BUFFERS.
 - A TREE PROTECTION SURVEY SHALL BE PROVIDED PRIOR TO PRELIMINARY PLAT APPROVAL.
 - STREET LIGHTS SHALL BE PROVIDED IN ACCORDANCE WITH TOWN POLICY.

- ENVIRONMENTAL FEATURE AND OPEN SPACE**
- THE SITE SHALL COMPLY WITH STORMWATER AND WATER QUALITY REQUIREMENTS AS SET FORTH IN THE ORDINANCE.
 - THE STORMWATER FACILITY SHALL PROVIDE PEAK DISCHARGE CONTROL (DETENTION) UP TO TWENTY-FIVE (25) YEAR STORM.
- RIVER/STREAM OVERLAY CALCULATION NOTES**
- THE WIDTH OF A CLASS 1 STREAM BUFFER SHALL BE MEASURED FROM THE AVERAGE ANNUAL STREAM BANK PERPENDICULARLY FOR A DISTANCE OF 50 FEET PLUS ADDITIONAL FEET BASED ON THE SLOPE OF THE STREAM BANK IN ACCORDANCE WITH TABLE 40.01.05-1 IN THE TOWN OF HARRISBURG UDO. ADDITIONAL BUFFER WIDTH BASED ON SLOPE. THIS SLOPE SHALL BE CALCULATED BY MEASURING A DISTANCE OF 250 FEET FROM THE CENTER OF THE STREAM. THE MAXIMUM REQUIRED BUFFER WIDTH SHALL NOT EXCEED 120 FEET FROM THE EDGE OF THE STREAM.

- AMENDMENTS TO THE SPECIAL USE PERMIT PLAN**
- FUTURE AMENDMENTS TO THE SPECIAL USE PERMIT PLAN (WHICH INCLUDES THESE DEVELOPMENT STANDARDS) MAY BE APPLIED FOR BY THE OWNER OR OWNERS OF THE APPLICABLE PORTION OF THE SITE AFFECTED BY SUCH AMENDMENT IN ACCORDANCE WITH THE PROVISIONS OF THE ORDINANCE.
- BINDING EFFECT OF THE SPECIAL USE PERMIT APPLICATION**
- IF THIS SPECIAL USE PERMIT PETITION IS APPROVED, ALL CONDITIONS APPLICABLE OF THE DEVELOPMENT OF THE SITE IMPOSED UNDER THE SPECIAL USE PERMIT PLAN WILL, UNLESS AMENDED IN THE MANNER PROVIDED UNDER THE ORDINANCE, BE BINDING UPON AND INSURE TO THE BENEFIT OF THE PETITIONER AND SUBSEQUENT OWNERS OF THE SITE AND THEIR RESPECTIVE HEIRS, DEVISEES, PERSONAL REPRESENTATIVES, SUCCESSORS IN INTEREST OR ASSIGNS.

NO.	DATE	REVISION	REVISED PER STAFF COMMENTS
2	04/27/2023		REVISED PER STAFF COMMENTS
3	01/19/2024		REVISED PER STAFF COMMENTS
4	06/10/2024		REVISED PER STAFF COMMENTS
5	09/17/2024		REVISED PER STAFF COMMENTS
6	04/30/2025		REVISED PER STAFF COMMENTS
7	07/14/2025		REVISED PER STAFF COMMENTS

PROJECT INFORMATION

PROJECT MANAGER: MM
 DESIGNED BY: AP
 DRAWN BY: AP
 PROJECT NUMBER: IM01
 ORIGINAL DATE: 02/24/2021
 SHEET: 2.0

ESP Associates, Inc.
 P.O. Box 2030
 Charlotte, NC 28241
 3475 Lakewood Blvd
 Fort Mill, SC 29708
 704-583-0440 (NC)
 803-802-2440 (SC)
 www.espassociates.com

ESP

PRELIMINARY
 NOT FOR
 CONSTRUCTION

BY	AP	AP	AP	AP	EL	RM

DETAILS & NOTES

THE PRESERVE AT LITCHFIELD - SUP

CITY OF HARRISBURG, NORTH CAROLINA

LENNAR CAROLINAS, LLC

**DRAFT Traffic Impact Analysis for
The Preserve at Litchfield
Harrisburg, North Carolina**

Prepared for:

**Town of Harrisburg
Harrisburg, North Carolina**

Prepared by:

**Kimley-Horn and Associates, Inc.
NC License #F - 0102
200 South Tryon Street, Suite 200
Charlotte, North Carolina 28202
(704) 333-5131**

**February 2024
018536053**

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1.0 Executive Summary

The purpose of this Traffic Impact Analysis (TIA) is to evaluate the vehicular traffic impacts on the surrounding transportation infrastructure as a result of the proposed Preserve at Litchfield development. The primary objectives of the study are:

- To estimate trip generation and distribution for the proposed development.
- To perform intersection capacity analyses for the identified study area.
- To determine the potential traffic impacts of the proposed development.
- To identify improvements to mitigate the proposed development's traffic impacts.

The proposed Preserve at Litchfield development is located in the northeast quadrant of the Stafford Road and McCorkle Lane intersection in Harrisburg, North Carolina. A TIA was previously completed and approved for this site in February 2021 (*Stafford Road Site TIA*, Kimley-Horn), but the analysis contained herein reflects the current development plan.

Based on the site plan provided by the applicant, the proposed development is currently envisioned to consist of 137 townhomes.

For the purposes of this TIA, the build-out year of 2028 was considered. Based on the provided site plan and information provided by the applicant, the proposed development will be accessed via one external access point – an unsignalized, full-movement connection along Stafford Road Extension (approximately 2,200 feet north of Rocky River Road).

An internal connection to the existing Brookedale Commons subdivision is also proposed via Smiling Drive.

A TIA scoping meeting was held with the Town of Harrisburg and representatives of the applicant virtually on August 30, 2023 to obtain background information and to ascertain the scope and parameters to be included in this TIA. A Memorandum of Understanding (MOU) was developed based on discussions from this meeting that documented all scoping parameters to be used for the TIA and was reviewed and agreed upon by the Town of Harrisburg and the applicant. Additionally, North Carolina Department of Transportation (NCDOT) reviewed and approved the MOU, which is included in the **Appendix**.

The following AM and PM peak-hour scenarios were analyzed to determine the proposed development's transportation impacts on the surrounding network:

- 2023 Existing Conditions
- 2028 Background Conditions
- 2028 Build-out Conditions

Based on coordination with the Town, NCDOT, and the Applicant, this TIA evaluated operations under each of the AM and PM peak-hour scenarios above for the following study area intersections:

1. Rocky River Road and I-485 Inner Loop
2. Rocky River Road and I-485 Outer Loop
3. Rocky River Road and Plaza Road Extension/Farmington Ridge Parkway
4. Rocky River Road and Stafford Road
5. Smiling Drive and Perseverance Drive
6. Rocky River Road and Perseverance Drive
7. Rocky River Road and Robinson Church Road
8. Stafford Road Extension and Proposed Residential Lane

Kimley-Horn was retained to determine the potential traffic impacts of this development (in accordance with the traffic study guidelines in the [NCDOT Policy on Street and Driveway Access to North Carolina Highways](#) and set forth by the [Town of Harrisburg Unified Development Ordinance – Appendix F](#)), and to identify transportation improvements that may be required to mitigate these impacts. This report presents trip generation, distribution, capacity analyses, and identified transportation improvements required to mitigate anticipated traffic demands produced by the subject development.

Based on the capacity analyses performed at each of the identified study intersections, along with review of the auxiliary turn-lane warrants contained herein, the following improvements have been identified to mitigate the impact of the proposed development on the adjacent street network:

Rocky River Road and Stafford Road

Option 1

- Conversion of the intersection to a left-over via construction of a concrete median/cross-over.
- Construction of a westbound right-turn lane along Rocky River Road with 100 feet of storage.

Option 2

- Conversion of the intersection to a thru-cut via construction of a concrete median/cross-over.
- Installation of a traffic signal.
- Restripe the northbound approach of Stafford Road to include separate left- and right-turn lanes.
- Restripe the southbound shared through-right lane on Stafford Road to be a dedicated right-turn lane.
- Construction of a westbound right-turn lane along Rocky River Road with 100 feet of storage.

Additional coordination with the Town and NCDOT should occur to determine which option will be implemented by this development.

Rocky River Road and Perseverance Drive

- Restripe the southbound approach of Perseverance Drive to include separate left- and right-turn lanes.

Rocky River Road and Robinson Church Road

Option 1

- Construction of a southbound right-turn lane along Robinson Church Road with a minimum of 200 feet of storage and permitted overlap phasing.

Option 2

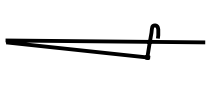
- Extension of the eastbound left-turn lane along Rocky River Road to provide 325 feet of storage.

Additional coordination with the Town and NCDOT should occur to determine which option will be implemented by this development.

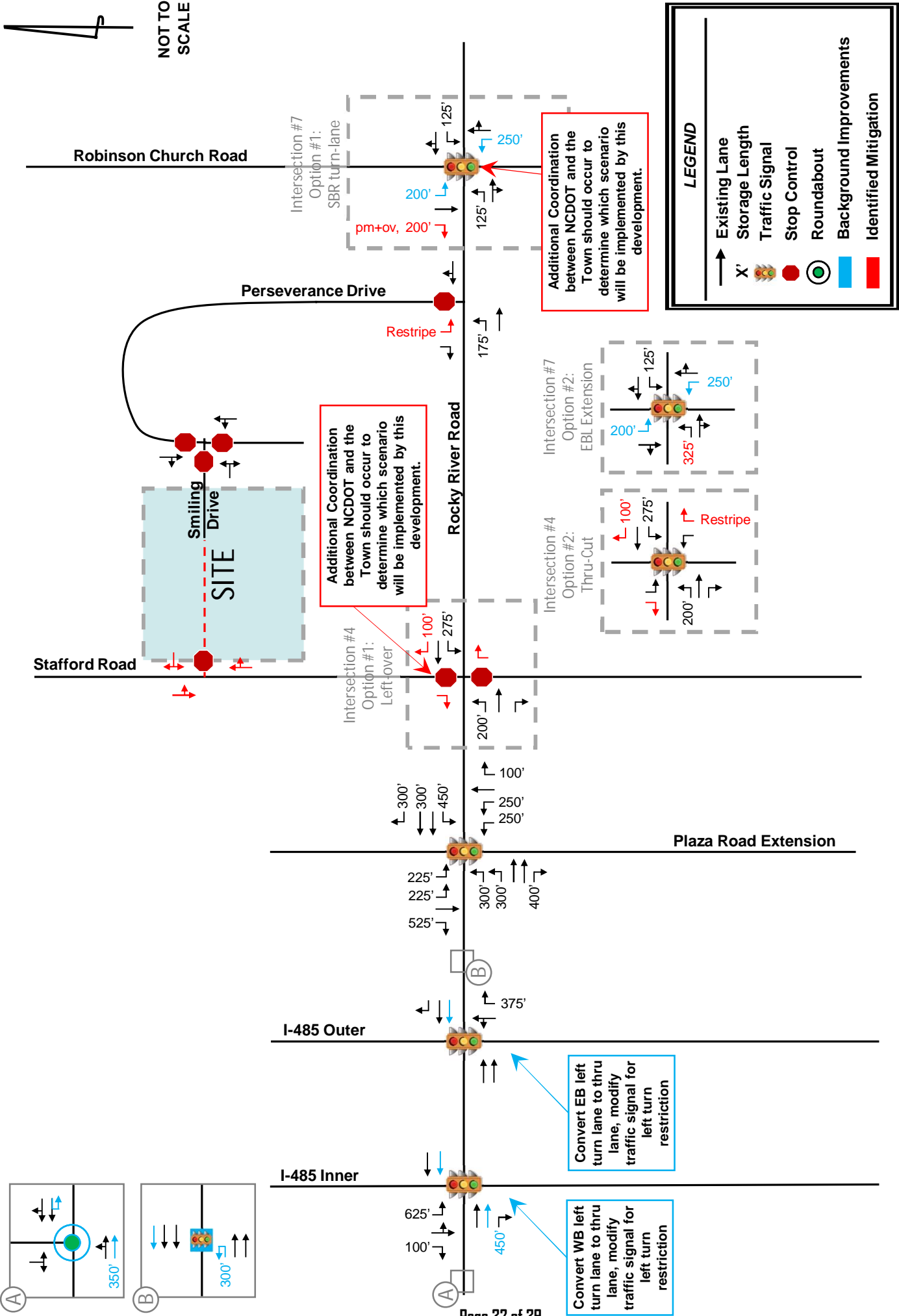
Stafford Road Extension and Proposed Residential Lane

- Construction of the westbound approach with one ingress and one egress lane.

The mitigation improvement identified within the study area are shown in **Figure 1.1**. The improvements shown on this figure are subject to approval by NCDOT and the Town of Harrisburg. All additions and attachments to the State and Town roadway system shall be properly permitted, designed, and constructed in conformance to standards maintained by the agencies.



NOT TO SCALE



STATE OF NORTH CAROLINA
COUNTY OF CABARRUS

MEMORANDUM OF UNDERSTANDING
(STAFFORD ROAD)

This MEMORANDUM OF UNDERSTANDING (“MOU”) concerning Stafford Road is made and entered into as indicated below by and among the TOWN OF HARRISBURG (“Town”), J CAL FARMS, LLC, a North Carolina limited liability company (“Cochrane”), LENNAR CAROLINAS, LLC, a Delaware limited liability company (“Lennar”) and the NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (“NCDOT”).

RECITALS

1. Stafford Road is an existing road in the Town of Harrisburg, Cabarrus County, North Carolina that runs north from Rocky River Road between the parcels identified as Cabarrus County PINs 55062310830000 and 55061394410000 owned by Cochrane (collectively, the “Cochrane Property”) and Cabarrus County PIN 55063300540000, owned by the Charlotte Mecklenburg Hospital Authority (the “Atrium Health Property”), to a parcel identified as Cabarrus County PIN 55062487870000, owned by Lennar (the “Lennar Property”).

2. Stafford Road is presently maintained by NCDOT, which claims a ditchline-to-ditchline prescriptive easement for maintenance. The common property line between the Cochrane Property and the Atrium Health Property is located within Stafford Road. The approximate location of the property line is shown in red on the easement drawing attached as Exhibit A to this MOU.

3. Lennar desires to develop the Lennar Property as a residential subdivision, called Preserve at Litchfield, pursuant to the Town’s Unified Development Ordinance (“UDO”), under which it will need a special use permit.

4. As a condition of any special use permit for the development of the Lennar Property that might be issued by the Town’s Board of Adjustment (“BOA”), Stafford Road would need to be developed and brought up to Town’s standards.

5. Lennar has agreed to pay for and to make the improvements to Stafford Road in accordance with Town’s standards, which include sidewalks on both sides of the street, curb and gutter on both sides of the street, and asphalt paving and striping. If, until any easement or right of way on Stafford Road is transferred to the Town and is either transferred to NCDOT or assumed by NCDOT, such easement or right of way shall be improved by Lennar at its expense to NCDOT standards.

6. Cochrane agrees to donate right of way along the northwest side of Stafford Road, within the areas identified as “Proposed 66’ R/W” and “Proposed 60’ R/W” on the easement drawing attached as Exhibit A (the “R/W Areas”) to the Town or to NCDOT, so that Lennar may construct the required improvements. It is understood that if the donation of the R/W Areas is made initially to NCDOT, then the required improvements with Stafford Road will need to be ultimately brought up to Town standards in order for a special use permit to be obtained from the Town. The R/W Areas will be dedicated through the recording of a plat or a conveyance in fee simple.

7. NCDOT, which owns right of way on the southeastern side of Stafford Road, within the Atrium Health Property, will allow Lennar to construct any required improvements to the road on that side and then will transfer those improvements and its right of way (including the R/W Areas, if

applicable) to the Town, which upon acceptance shall provide for the future maintenance of Stafford Road as a Town street.

8. Lennar has agreed to commission and pay for a survey of the Cochrane Property and the boundaries of the R/W Areas that are to be improved and conveyed ultimately to the Town. Lennar has already contracted with ESP Associates, Inc. to prepare this survey, which shall remain subject to the prior review and approval of Cochrane.

The parties all agree that sufficient consideration exists to bind each of them to perform their respective agreements pursuant to this MOU, if the other parties perform theirs, except it is understood that the Harrisburg Town Council and the Harrisburg BOA have not considered and approved the Town's part of this MOU. The MOU becomes completely binding on the Town when the requirements imposed on the Town are approved by the respective Town body, such as the Town Council or the BOA.

TERMS

1. All parties to this MOU understand that some of the obligations of a party might need to be done serially after another party has performed one of its obligations pursuant to this MOU, but all parties agree that time is of the essence with reference to performance of each of the obligations.

2. Cochrane shall immediately donate to NCDOT or the Town the R/W Areas as shown on the survey performed by ESP Associates, Inc., provided that the boundaries of such R/W Areas shall be consistent with the boundaries shown on the easement drawing attached as Exhibit A. The Town agrees that it will accept such donation when the plans for the construction of the improvements within Stafford Road have been approved by the Town and NCDOT.

3. Lennar has already submitted to the Town its application for a special use permit (H-2021-03 SUP) for the residential subdivision Preserve at Litchfield. This application is presently under review by the Town and will be scheduled at some point for review by the BOA.

4. All parties are either self-insured for liability or have provided a COI to the Town. Each party shall be responsible for any claims or suits arising out of its obligation while participating in this project. This paragraph does not apply to Cochrane.

5. All parties understand that receiving a sewer allocation from the Town is not inferred by any provision in this MOU and that sewer allocation is an entirely separate and independent process.

6. This MOU may only be amended through the mutual written consent of all of the parties.

7. If any provision of this MOU is held invalid or unenforceable for any reason by a court of competent jurisdiction, such invalidity or non-enforcement shall cause this MOU to become completely invalid and each of the parties is released from its obligations or responsibilities outlined above.

8. No term or condition of this MOU shall be deemed to have been waived, except by written instrument of the party charged with such waiver. No such waiver shall be deemed a continuing waiver unless specifically stated therein, and each such waiver shall operate only as to the specific term and condition waived.

9. This MOU constitutes the final and complete agreement between the parties with respect to the project outlined. All prior and contemporaneous negotiations and agreements between the parties regarding the same are expressly merged into and superseded by this MOU.

10. This MOU shall be governed by the laws of the State of North Carolina. Any dispute arising from this MOU shall be resolved in the courts of Cabarrus County, North Carolina.

IN WITNESS, the parties have executed this MOU as indicated below.

(SIGNATURES ON SEPARATE PAGES BEGINNING BELOW)

TOWN OF HARRISBURG



Town Manager

DATE: 4/24/2026

This instrument has been pre-audited in the manner required by the North Carolina Budget and Fiscal Control Act.

Date: 4/16/2026

By: Brian Lee
Town of Harrisburg Finance Director

J CAL FARMS, LLC

Gene Cochrane

Eugene W. Cochrane, Jr., Manager

DATE: Mar 23, 2026

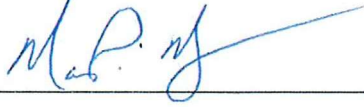
LENNAR CAROLINAS, LLC



Mark Henninger, Vice President

DATE: 3/30/26

NORTH CAROLINA DEPARTMENT OF TRANSPORTATION



DATE: 4/10/2024

District Engineer

